



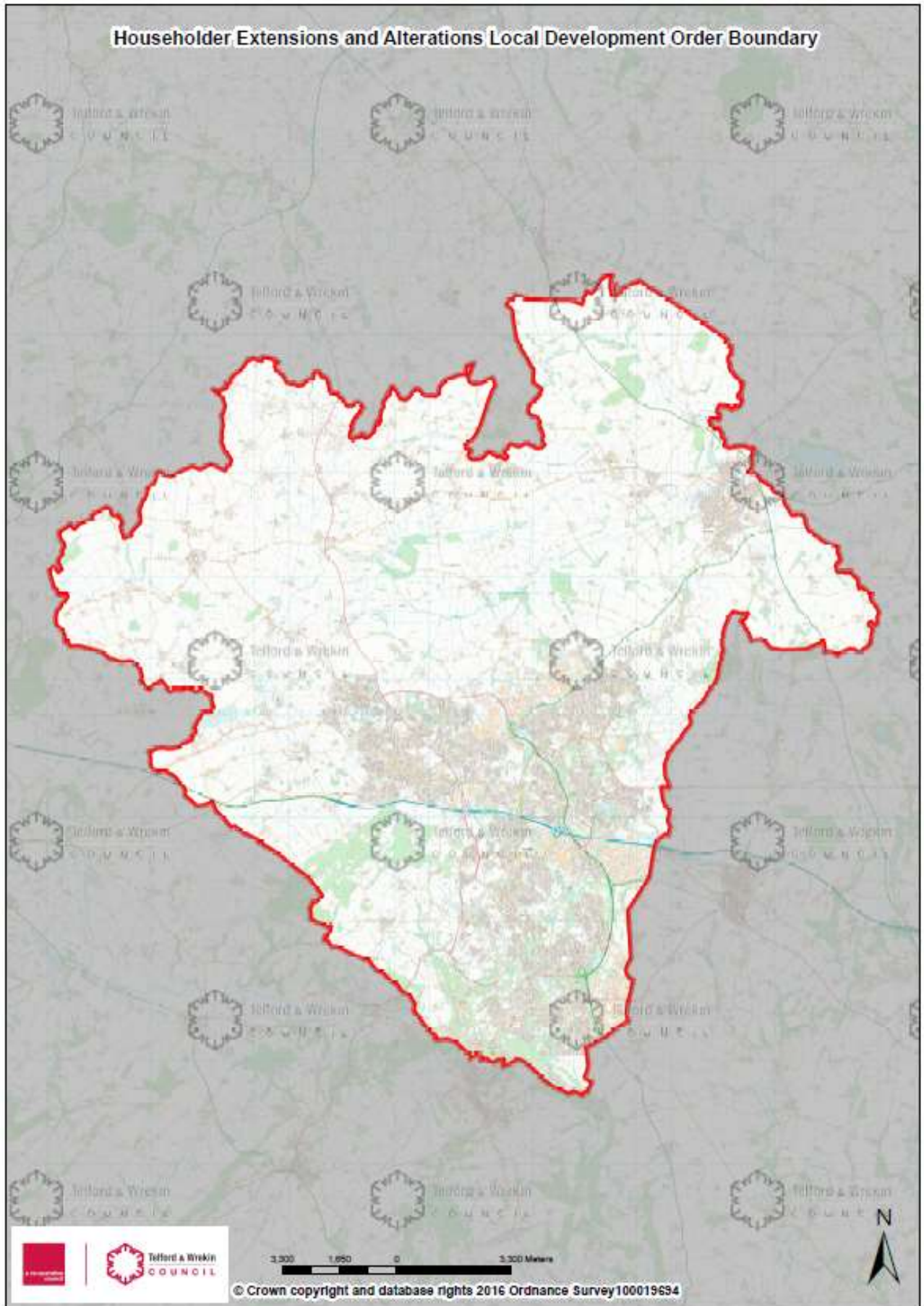
**BOROUGH OF TELFORD & WREKIN**  
**Telford & Wrekin Council Householder Local Development Order 2017**

**The Town and Country Planning Act 1990 & Town and Country Planning  
(Development Management Procedure) (England) Order 2015**

1. This Order is made by Borough of Telford & Wrekin (the 'Council') under the powers conferred on the Council as Local Planning Authority by sections 61A-61D and Schedule 4A of the Town and Country Planning Act 1990 (as amended) and pursuant to The Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended), and shall be known as the Telford & Wrekin Council Householder Development Order 2017 (the 'Order').
2. The Order applies to the whole of the land (the 'Area') in the Council's administrative area, shaded red and depicted on the plan at Schedule 1 but does not apply to the land properties and buildings described in paragraph 2.3 of Schedule 2 to this Order.
3. The Order will be operative for a period of three years following the day of its adoption or until it is formally revoked by the Council.
4. All permission granted under the Order will expire upon the third anniversary of the adoption of the Order or upon revocation and any development which has started at that time cannot be further implemented unless the development has reached a stage of development as specified in Schedule 3 **AND** if the development has reached a stage as specified in Schedule 3 it will be allowed to be completed as granted.
5. This Order grants planning permission for the types of development set out in paragraph 2.2 Schedule 2 subject to:
  - (a) the definitions, limitations and restrictions in that Schedule;
  - (b) compliance with Schedule 3.
6. The definitions in Schedule 4 of this Order apply in the interpretation of this Order.
7. The Schedules form part of this Order and the words in the Schedules have the same meanings as provided in the body of this Order unless expressly stated otherwise.
8. The address for submission of all communications in relation to operation of this Order is: Development Management Team Leader, Telford & Wrekin Council, PO Box 457, 1st Floor, Wellington Civic Offices, Telford, TF2 2FH

Date:

# Schedule 1



## Schedule 2

### 1. Introduction

- 1.1 The Telford & Wrekin Householder Local Development Order 2017 (“the Order”) applies to householder extensions and alterations which normally require planning applications that are deemed to be straight forward and low impact and in compliance with the Council’s house extensions planning guidance. The Order extends Permitted Development rights for qualifying alterations to dwellings. The Order does not remove any of the nationally set “Permitted Development” rights.

### 2. What does the Order permit?

- 2.1 The Order allows certain extensions to be built without planning permission. The criteria used are over and above the national Permitted Development rights set down by the Town and Country Planning (General Permitted Development) Order 2015 as amended, which still apply to all dwelling houses within the District unless otherwise specified.

- 2.2 Subject to the provisions of paragraph 2.3 and 2.4 of this Schedule this Order permits the following types of development subject to the Design Criteria specified in paragraph 3 below:

- a. Erection of single storey rear and side extensions to dwellinghouses that are not dwellinghouses converted from Offices / Storage and Distribution Units/ Shops / Amusement arcades / Agricultural units under the Town and Country Planning (General Permitted Development) Order 2015
- b. Erection of a two storey and first floor rear and side extensions to dwellinghouses that are not dwellinghouses converted from Offices / Storage and Distribution Units/ Shops / Amusement arcades / Agricultural units under the Town and Country Planning (General Permitted Development) Order 2015
- c. Single storey extensions to converted dwellinghouses that were previously Offices / Storage and Distribution Units/ Shops / Amusement arcades/ Agricultural Buildings converted under Permitted Development rights
- d. Porches outside any external door of a dwellinghouse that is not a dwellinghouse converted from Offices / Storage and Distribution Units/ Shops / Amusement arcades / Agricultural units under the Town and Country Planning (General Permitted Development) Order 2015
- e. Thermal Cladding to a dwellinghouse that is not a dwellinghouse converted from Offices / Storage and Distribution Units/ Shops / Amusement arcades / Agricultural units under the Town and Country Planning (General Permitted Development) Order 2015
- f. Dropped Kerbs on Unclassified Roads relating to a dwellinghouse access point

- 2.3 Development is not permitted under the Order for the following types of properties:

- a. land, properties and buildings in a Conservation Area and its Identified Exclusion Zone as shown on plans attached at Schedule 5
- b. land, properties and buildings in the World Heritage Site and its Identified Exclusion Zone as shown Schedule 5.
- c. listed Buildings and development within its curtilage
- d. flat or a House in Multiple Occupation
- e. properties within the Area of Outstanding Natural Beauty
- f. properties within a Site of Special Scientific Interest
- g. properties within Historic Parks and Gardens
- h. Local Interest Buildings

- i. land, property or buildings where Permitted Development Rights have been removed
- 2.4 Planning Permission is not granted under this Order unless before Commencement of development
  - (a) an application for a Certificate of Compliance has been made to the Council and;
  - (b) the Council has issued a written Certificate of Compliance
- 2.5 No planning permission granted under the Order enables any works to be done to trees which are subject to a Tree Preservation Order under the Town and Country Planning Act 1990 or for such protected trees to be lopped, pruned or felled in any way.

### **3 Design Criteria**

#### **3.1 Criteria applicable to all alterations under the Order**

- a. No part of the development referred to in subparagraphs a, b and c of paragraph 2.2 of this Schedule extends beyond the front wall of the original dwelling house.
- b. The highest part of the development referred to in subparagraphs a, b, c and d of paragraph 2.2 of this Schedule is no higher than the highest part of the roof of the existing dwelling
- c. The eave height of the development referred to in subparagraphs a, b, c and d of paragraph 2.2 of this Schedule is no higher than the eave height of the existing dwelling
- d. The exterior materials and brick bonding used must be of a similar appearance to match those in the original dwellinghouse. Except only for the materials used in constructing a conservatory, due to the substantial glazing; any base brick should match that of the original dwelling.
- e. No part of the proposed building encroaches upon or overhangs any neighbouring land or property
- f. Where the original rear wall of a dwellinghouse is stepped, then each of these walls will form 'the rear wall of the original dwellinghouse'
- g. The development referred to in subparagraph a, b and c paragraph 2.2 of this Schedule does not include Balconies, Verandas, or Raised Platforms which are not permitted.
- h. The total area of ground covered by extensions (including previous extensions and other buildings within the property curtilage) must not be greater than 50% of the total area of the 'curtilage', excluding the ground area of the original dwelling house.
- i. The proposal will not result in any alteration to the roof.

## Part 1

The criteria listed below at paragraphs 3.2 to 3.5.1 (inclusive) apply to all dwellings that are **not** dwellings converted from Offices / Storage and Distribution Units/ Shops / Amusement arcades / Agricultural units under the Town and Country Planning (General Permitted Development) Order 2015.

### 3.2 Single storey side and single storey rear extensions

Under the Order a single storey side and rear extension can be added to the property subject to the following criteria:

#### 3.2.1 Detached dwellings:

- a. The length of the proposed extension is no more than 8 m from the rear wall of the original property
- b. The width of the proposed single storey side extension cannot be greater than half the width of the original dwelling house plus 1m.

#### 3.2.2 Linked detached/ Semi-detached / Terrace dwellings:

- a. The length of the proposed extension is no more than 6m from the original rear wall
- b. The width of the proposed single storey side extension cannot be greater than half the width of the original dwelling plus 1m , and
- c. In the case of an end terrace, the greater value is chosen of the following:
  - (i) where the width of the side extension is no more than the width of the original dwelling, up to a maximum of 4m; or
  - (ii) where the width of the side extension is no greater than half the width of the original dwelling house, up to a maximum of half the width of the original dwelling house

#### 3.2.3 Applicable to all single storey extensions:

- a. If a side extension extends beyond the original rear elevation the proposal must meet criteria for both side and rear extensions. i.e. it must not project more than 8m (detached dwellings) / 6m (Linked detached/semidetached/terrace dwellings) beyond the rear elevation
- b. If the proposal is within 2m of any boundary it shall not exceed 4m in height, and any eave height shall not exceed 3m in height
- c. If the proposal is more than 2m from any boundary it shall not exceed 4.5m in height
- d. Any proposed side extension does not extend beyond a wall which fronts a highway or open space

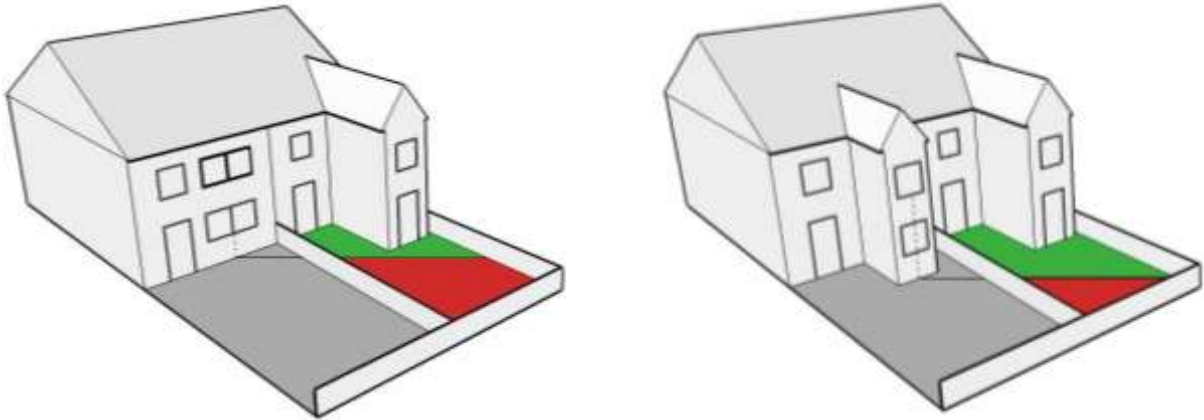
### 3.3 First floor and Two Storey Extensions

**3.3.1** Under the Order a first floor or a two storey extension can be added to the property. A two storey extension can be more detrimental than a single storey, therefore a zone of Permitted Development applies; this is calculated by drawing a 45 degree line from the centre point of the neighbours nearest habitable window.

No part of the development referred to in subparagraph b of paragraph 2.2 of this Schedule can be located outside the zone of Permitted Development for example no such development can take place within the area shaded red in the figures below.

#### 45 Degree Line:

**3.3.2** An imaginary line is drawn at a right angle from the nearest window of the neighbouring house that may be effected by the extensions. The window used must be the main source of light to the 'habitable room'. This includes living rooms, bedrooms, kitchens, and conservatories, but does not include rooms such as utility rooms, halls, bathrooms or landings.



Development allowed in this area if authorised



No development in this area

#### 3.3.3 First floor and two storey rear extensions

Development of a first floor rear or a two storey rear extension can only be located within this zone of Permitted Development (for example the land shown shaded green in the figures above) if it meets the following criteria:

- a. The length of the proposed extension is no more than half the length of the original property.
- b. On any side elevation that is less than 10m from any boundary, there are no first floor windows, dormer windows, or any velux windows less than 1.8m above floor level.

#### 3.3.4 First floor and two storey side extensions

Under the Order a first floor or a two storey side extension can be added to the property, subject to the following criteria:

- a. The length of the proposed extension is no wider than half the width of the original property;
- b. The first floor extension shall be set back 1m from the front elevation, and the ridge height reduced accordingly to match the pitch of the original dwelling.
- c. There are no habitable room windows in the first floor side elevation.
- d. There are no dormer windows in the side elevation roof plain.
- e. Any velux windows on a side elevation within 10m of any boundary installed less than 1.8m above floor level shall be obscurely glazed

- f. Any non-habitable room windows formed in the side elevation, within 10m of any boundary shall be permanently fitted with obscure glazing and opening light shall be top hung only.
- g. Any open window should sit within the boundary of the property and not overhang any boundary
- h. Any proposed side extension does not extend beyond a wall which fronts a highway or open space; and

### **3.3.5 Applicable to all first floor and two storey extensions:**

- a. If a side extension extends beyond the original rear elevation the proposal must meet criteria for both side and rear extensions i.e. the rear extension must sit within the zone of Permitted Development. For zone of Permitted Development see paragraphs 3.3.1 and 3.3.1 above
- b. The ridge height is not higher than the highest part of the existing roof it will be attached to.
- c. The roof pitch matches the main roof of the existing roof it will be attached to
- d. The proposed eaves height is not higher than the highest part of the existing roof it will be attached to.
- e. The proposal is not splayed or does not have a contrived design to fall within the zone of Permitted Development
- f. The extension is no closer than 7m to the rear boundary

## **3.4 Porch Extensions**

**3.4.1** Under the Order a porch outside any external door of a dwellinghouse can be erected to any elevation of the property subject to the following criteria:

- a. The proposal does not fall within 1m of the boundary of the property
- b. The proposal does not exceed 4m<sup>2</sup> externally
- c. The proposal does not exceed 3m in height

## **3.5 External Thermal Cladding**

**3.5.1** Under the Order thermal cladding can be installed to the external elevations of any residential dwelling subject to the following criteria:

- a. The external appearance of the cladding matches the materials of the existing building or that within the immediate surrounding area.

## Part 2

### 3.6 Single Storey extensions to dwellings converted under Part 3 of the General Permitted Development Order 2015

The criteria listed below in paragraph 3.6.1 relate to **all dwellings that have been converted** from Offices / Storage and Distribution Units/ Shops / Amusement arcades / Agricultural units. The General Permitted Development Order 2015 specifically excludes dwellings that have been converted under Part 3 of that Schedule; and therefore these dwellings cannot extend without planning permission. This Order allows some small scale single storey extensions without the requirement for a planning application.

#### 3.6.1 Single storey side and rear extensions

- a. The length of the proposed extension is no more than 3m from the rear wall of the original property
- b. The proposed side extension is no more than 3m beyond the original side wall of the original dwelling
- c. A single storey side extension cannot be linked to a rear extension
- d. The proposed eaves height does not exceed 3m in height within 2m of any boundary
- e. The design, form and materials must match the design and form of the original unit, and shall not be substantially glazed; this Order excludes conservatory extensions. Materials, windows including cill and headers, roof pitch, eave details must be the same as the host dwelling

## Part 3

### 3.7 Installation of a dropped kerb on an unclassified highway where it relates to a residential dwellinghouse access point.

**3.7.1** The criteria listed below relates to the creation of a dropped kerb on an unclassified road specifically where it relates to a residential dwellinghouse access point. Under the Order a dropped kerb may be installed subject to the following criteria:

- a. Consent is obtained from the Local Highway Authority under S.184 Highways Act 1980
- b. Visibility splays of the following are provided:
  - (i) 22m x 2.4m on a 20mph road
  - (ii) 40m x 2.4m on a 30mph road
  - (iii) 56m x 2.4m on a 40mph road
  - (iv) 160m x 2.4 on a 50mph road
  - (v) 215m x 2.4 on a 60mph road
- c. The gradient of the associated private driveway or hardstanding is no steeper than 1:12

### Schedule 3

In accordance with Article 4, the types of development listed in column 1 below must reach the stage of development described in column 2 in order to be allowed to be completed in the event this Order expires or is revoked.

<p align="center"><b>Column 1</b> <b>Type of Development</b></p>	<p align="center"><b>Column 2</b> <b>Required stage of Development</b></p>
<p>Development under paragraph 2.2 (a) Erection of single storey rear and side extensions to dwellinghouses that are not dwellinghouses converted from Offices / Storage and Distribution Units/ Shops / Amusement arcades / Agricultural units under the Town and Country Planning (General Permitted Development) Order 2015</p>	<p>Up to and including all elevations to eave height must be substantially completed. If brick built this can still have window and door voids which are incomplete. If substantially glazed (more than 50%) then the elevations should be completed in their entirety. For the avoidance of doubt the roofing does not need to have commenced.</p>
<p>Erection of a two storey and first floor rear and side extensions to dwellinghouses that are not dwellinghouses converted from Offices / Storage and Distribution Units/ Shops / Amusement arcades / Agricultural units under the Town and Country Planning (General Permitted Development) Order 2015</p>	<p>Up to and including all elevations to eave height must be substantially completed. If brick built this can still have window and door voids which are incomplete. If substantially glazed (more than 50%) then the elevations should be completed in their entirety. For the avoidance of doubt the roofing does not need to have commenced.</p>
<p>Development under paragraph 2.2 (c) Single storey extensions to converted dwellinghouses that were previously Offices / Storage and Distribution Units/ Shops / Amusement arcades/ Agricultural Buildings converted under Permitted Development Rights</p>	<p>Up to and including all elevations to eave height must be substantially completed. If brick built this can still have window and door voids which are incomplete. If substantially glazed (more than 50%) then the elevations should be completed in their entirety. For the avoidance of doubt the roofing does not need to have commenced.</p>
<p>Development under paragraph 2.2 (d) Porches outside any external door of a dwellinghouse</p>	<p>Up to and including all elevations to eave height must be substantially completed. If brick built this can still have window and door voids which are incomplete. If substantially glazed (more than 50%) then the elevations should be completed in their entirety. For the avoidance of doubt the roofing does not need to have commenced.</p>
<p>Development under paragraph 2.2 (e) Thermal Cladding to a dwellinghouse</p>	<p>More than 50% of the elevations being covered should have been completed</p>
<p>Development under paragraph 2.2 (f) Dropped Kerbs on Unclassified Roads relating to a dwellinghouse access point</p>	<p>The Dropped Kerb should be wholly in place.</p>

## Schedule 4

### Definitions

<b>45 degree line measured from centre of window</b>	this means the centre of the total extent of the window, not the nearest 'light/opening part'.
<b>Adjoining neighbours -</b>	any property adjoining any boundary to the property where the house is to be extended,  to the side or rear, including any property separated from it by pedestrian-only access.
<b>Article 1(5) land -</b>	this is land within a National Park, the Broads, an area of outstanding natural beauty, an area designated as a conservation area, and land within World Heritage Sites.
<b>Balcony</b>	is a platform with a rail, balustrade or parapet projecting outside an upper storey of a building. A 'Juliet' balcony, where there is no platform and therefore no external access would normally be Permitted Development and comply with the Order criteria.
<b>Certificate of Compliance</b>	Means a written certificate issued by the Council confirming that the development meets the criteria as specified within this Order.
<b>Commencement</b>	The earliest point in time where a material operation in relation to the development has been carried out. Material operation includes the construction, demolition, digging of foundations etc,
<b>Dwellinghouse</b>	does not include buildings containing one or more flats or a single flat contained within a building. Note, however, that for the purposes of this guidance, the word 'house' or "dwelling" is a 'dwellinghouse'.
<b>Eaves</b>	the part of a roof that meets or overhangs the walls of a building.
<b>Elevation</b>	this is the term used to describe a side of the property on view, eg the front elevation is the side of the house that faces the nearest road.
<b>Existing</b>	means a building as it existed immediately before any proposed Permitted Development (eg a house extension) is undertaken. The existing house will include previous development to the house, whether undertaken as Permitted Development or as development resulting from a planning permission from the local authority.
<b>Front or front wall of the dwellinghouse</b>	that elevation which originally contained the front entrance door to the house
<b>Habitable Room</b>	lounge/ sitting room, dining room, and kitchen incorporating a dining area, study, bedroom. It does not include hallways, landings, kitchens where no dining area is incorporated, bathrooms, wc and utilities.
<b>Height</b>	references to height (for example, the heights of the eaves on a house extension) is the height measured from ground level. Ground level is the surface of the ground immediately adjacent to the building in question. Where ground level is not uniform (e.g. if the ground is sloping), then the ground level is the highest part of the surface of the ground next to the building. This will be the level of the natural ground and would not include any addition laid on top of the natural ground such as a patio.
<b>House in Multiple Occupation (HMO)</b>	a property that is shared by three or more tenants who are not living together as a family and who share basic amenities such as a kitchen, bathroom or toilet facilities but have separate bedrooms
<b>Informatives</b>	The informatives set out at Schedule 4
<b>Linked Detached</b>	is where a property is physically linked to another property by a side garage or

	structure
<b>Locally Interest Building</b>	A building recognised for its local importance and contribution to the historic environment as identified and included on the List of Buildings of Local Interest (Local List) prepared by Telford & Wrekin Council.
<b>Matching Materials</b>	Where the structure has differing materials for example brick and render, it should match that of the host elevations; and where there are different windows types – UPVC / Timber / Metal, the frames should match that which there are most of, or form part of a replacement for the whole property.
<b>Original</b>	means a building as it existed on 1 July 1948 where it was built before that date, and as it was built when built after that date.
<b>PD – or Permitted Development</b>	the extent to which properties may be changed without planning permission.
<b>Principle Elevation</b>	In most cases, the principal elevation will be that part of the house which fronts (directly or at an angle) the main highway serving the house (the main highway will be the one that sets the postcode for the house concerned). It will usually contain the main architectural features such as main bay windows or a porch serving the main entrance to the house. Usually, but not exclusively, the principal elevation will be what is understood to be the front of the house.
<b>Properties in a Conservation Area and its Identified Exclusion Zone</b>	Means the land, properties and buildings located within the areas shown on the plans attached at Schedule 5 to this Order
<b>Properties in World Heritage Site and its Identified Exclusion Zone</b>	Means the land, properties and buildings located within the area shown on the plan attached at Schedule 5 to this Order
<b>Raised platform</b>	is any platform with a height greater than 300 millimetres and will include roof terraces.
<b>Ridge height</b>	Chimneys, firewalls, parapet walls and other protrusions above the main roof ridge line should not be taken into account when considering the ridge height of the original or existing house
<b>Veranda</b>	is a gallery, platform, or balcony, usually roofed and often partly enclosed, extending along the outside of a building at ground level.

## Schedule 5

### **Plans attached showing properties in Conservation areas and World Heritage Site and their identified exclusion zones:**

1. Edmond
2. High Ercall
3. Horsehay & Spring Village
4. Severn Gorge
5. Newport
6. Wellington
7. Wrockwardine

## **Informatives**

The following informatives apply to development which are granted planning permission under the Order.

### **1. Building Regulations**

1.1 Consent under the Building Regulations is likely to be required in most cases.

### **2. Party Wall Act**

2.1 The applicant's attention is drawn to the provisions of the Party Wall etc Act 1996. The approval under the Householder Extensions Order does not remove the need to comply with the Act where it is applicable.

### **3. Information and amendments**

3.1 A Certificate of Compliance issued under this Order is based on the information submitted by the application. If this information is subsequently found to be incorrect, the proposal would no longer be permitted under the Order and any Certificate of Compliance given would be null and void. A further Certificate of Compliance would be required, however if the development does not meet the criteria of the Order a full planning application would then be required to regularise the development.

3.2 Where a development requires a non-material minor amendment (for example the relocation of a window etc) after the issue of a Certificate of Compliance, amendment to the Certificate of Compliance can be applied for through the submission of a formal application with amended plan(s) and a fee. Anything more significant would require a new Order Certificate of Compliance or a formal planning application where the proposal does not meet this criteria.

3.3 The Council will investigate any complaints relating to extensions constructed under the Order. The Order cannot be applied to retrospective development where no Order Certificate of Compliance has been sought at the outset.

### **4. Consultation**

4.1 To promote early engagement and consultation between the applicant and neighbours, prior to submitting plans to the Council, the applicant will be required, under the Council's application process, to 'serve notice' on all adjoining neighbours in addition to providing them with copies of detailed drawings of the proposal. The Council's application process together with copies of submissions and representations in respect of the application will be published in the Council's website.

### **5 Protected Trees:**

5.1 The Council's separate consent would be required before works on trees the subject of Tree Preservation Order could be carried out. The approval under the Householder Extensions LDO does not override this requirement.

5.2 If any works are situated within the canopy of a tree that is outside of the boundary of the dwelling, the applicant is advised to notify the owner before any works commence to clear the site. If the land is under Council ownership the applicant shall notify the Councils Environmental Maintenance giving at least 2 weeks' notice.

## 6 Drainage and Floodrisk:

- 6.1 The applicant's attention is drawn to the following advice from the Environment Agency:
- a. For extensions within Flood Zones 2 or 3 floor levels be set no lower than existing levels and flood proofing incorporated where possible, or floor levels be set 600mm above the known or modelling 1% river flood level, including climate change allowance.
  - b. Any works in, under, over or within 8 metres of the top of a main river may require a permit from us under the Environmental Permitting (England and Wales) Regulations 2010. This would have formerly been called a Flood Defence Consent. For more advice to confirm whether a permit is required, what type, and exemptions go to: <https://www.gov.uk/guidance/flood-risk-activities-environmental-permits>
- 6.2 After October 2011 any existing sewer serving more than a single property automatically became classified as a public sewer. As a result any pipework running through your site serving a neighbouring property will now be the responsibility of Severn Trent Water. Where there is a Severn Trent Water foul or surface water sewer crossing the site this may need to be diverted at the applicant's expense, or amendments may be necessary to the proposed development so that the sewer can be retained or built over. Unrestricted access must be made available at all times for maintenance and repair. Applicants will be advised to find out if their property is constrained in this manner by contacting Severn Trent Water direct.
- 6.3 Where a Telford & Wrekin Council highway drain crosses the site this may need to be diverted at the applicant's expense. Unrestricted access must be made available at all times for maintenance and repair. Applicants will be advised to submit any plans of a diverted highway drain to Telford & Wrekin Council's Drainage team for approval prior to undertaking any works on site.
- 6.4 Where there is a Severn Trent Water main crossing the site this may need to be diverted at the applicant's expense, or amendments may be necessary to the proposed development so that the main can be retained. Unrestricted access must be made available at all times for maintenance and repair. Applicants will be advised to find out if their property is constrained in this manner by contacting Severn Trent Water direct.
- 6.5 Where a watercourse or other water body is located within the site boundary, any feature should remain in open channel with a minimum offset distance of 3m. Should the proposals require the modification of any ordinary watercourse channel the applicant is advised to contact Telford & Wrekin Council to apply for Ordinary Watercourse Consent.
- 6.6 Where soakaway drainage is utilised as part of the design any soakaway structure should be located no less than 5m from any building or property boundary.
- 6.7 When installing a dropped kerb, the applicant should take existing highway drainage regimes into consideration and consider where water will flow post-development. Surface water produced by the Public Highway will run along a kerb line until it can drain into a highway gully. If the kerb line is interrupted by a dropped kerb it is possible that these flows will then enter private property.
- 6.8 TWC cannot be held responsible for any flooding to property caused as a result of the installation of an inappropriate dropped kerb. Special care should be taken in areas at risk of surface water flooding. The applicant should consult with the [Environment Agency's Surface Water Flood Maps](#) to see if they are in an area identified as at risk.

6.9 Installation of a dropped kerb should not result in private property draining towards the Public Highway. Where this is unavoidable the applicant will be responsible for installing a private drainage system to intercept surface water before it enters the Public Highway. No private drainage connections to the highway drainage system are permitted.

## 7 Highway safety:

7.1 When creating a new access, there should generally be 6 metres of available space for parking between your property and the rear of the public footway

7.2 The applicant is liable for the cost of the work to any existing street furniture (Street lights, bollards, street nameplates etc) which require repositioning

7.3 Any associated gates are located 5 metres into the site from the rear of the public highway and are hinged to open only inwards towards the property.

7.4 If there is any loss of driveway or hardstanding area then the remaining parking levels should generally be in line with those recommended in Appendix E of the Telford & Wrekin Local Plan:

Number of bedrooms per dwelling	No. Parking spaces:		
	Central Areas	Sub Urban Areas	Rural Areas
1	1.3	1.3	1.4
2	1.4	1.6	2.3
3	1.6	2.3	2.6
4	2.4	2.6	4
5	2.5	3.8	4.2

## 8 Land Stability

8.1 The developer shall be aware of the policies set out in the NPPF with regard to potential land instability. Prior to commencement of the works, the developer should be satisfied that the proposed extension/building is not subject to instability and does not adversely affect the stability of adjacent structures and/or land. This includes the potential influence of (and influence on) mineworkings, mine-entries, slopes (existing and proposed), existing retaining structures, bearing soils & lithology, vegetation, soil chemistry (e.g. Sulphates), existing services and utilities and in the case of an extension, the existing structure.

8.2 To ensure that the proposals meet the above criteria, the developer should seek advice from a suitably qualified geotechnical Consultant.

## 9 Land contamination

9.1 Prior to commencement of the works, the developer should be satisfied that the proposed development does not comprise contamination and/or ground gases which can adversely affect but is not limited to:

- a. Human Health
- b. Structures (e.g. concrete)
- c. Groundwater / Aquifer
- d. Ecology

9.2 To ensure that the proposals meet the above criteria, the developer should seek advice from a suitably qualified geo-chemist or geo-environmental Consultant.

## 10 Ecology:

- 10.1 There is potential for bats, great crested newts and nesting birds to be found in and around occupied properties and to be affected by works covered by this Order.

### *Bats*

- 10.2 All species of bats in the UK are fully protected. It is against the law to kill or injure a bat, to damage or destroy its resting place or roost. Homeowners may not be aware of the bats which are roosting in their property but the legal responsibility for protecting bats falls upon any individual carrying out works on their home.
- 10.3 Bats can roost in houses, even those without loft spaces, and can be negatively affected by works to repair, extend or alter roof structures, eaves, soffits and chimneys. While opportunities for bat roosts are more common in houses built before 1960 even modern dwellings can provide support significant roosts. If you think bats may be present in your house then it is your responsibility to carry out reasonable checks before commencing extension or repair works.
- 10.4 Householders can seek guidance relating to the bats from the Natural England and Bat Conservation Trust who operate a roost visitor service. BCT can be contacted on 0345 1300 228 or at: [http://www.bats.org.uk/pages/natural\\_england\\_roost\\_visits.html](http://www.bats.org.uk/pages/natural_england_roost_visits.html)

### *Great Crested Newts*

- 10.5 Great crested newts are fully protected and it is against the law to kill or injure a great crested newt or to damage or destroy its resting place including ponds and terrestrial habitat. Great crested newts are widespread in Telford & Wrekin and can be present considerable distances from ponds (up to 500m in some cases).
- 10.6 Extension works permitted under this Order have the potential to impact upon great crested newts which may be present in domestic gardens even when no obvious ponds are present. Great crested newts can become trapped in open pipes and excavations, can hibernate in loosely stacked building materials and can be killed when garden hedges, compost heaps and ponds are removed.
- 10.7 If you think you have found a great crested newt on your site, or you think they may be present, then you should seek advice from an appropriately licensed and experienced ecologist who will be able to help you find a way to proceed with your development without impacting upon great crested newts or breaking the law.

### *Nesting Wild Birds*

- 10.8 Nesting wild birds can be present in domestic gardens and within or on domestic properties. The active nests of all wild bird species are protected and an active nest is one being built, containing eggs or chicks or on which fledged chicks still rely.
- 10.9 The simplest way to avoid impacting upon nesting birds is to avoid commencing works in the bird nesting season which runs from March and September inclusive. If this is not possible then an inspection for active nests should be undertaken prior to starting works. If all areas cannot be seen to be clear then an experienced ecologist should be employed to conduct a thorough inspection before works commence.

### *Telford & Wrekin Ecologists*

- 10.10 If you require further advice relating to protected species please contact Telford & Wrekin Council's Ecology & Green Infrastructure Specialist by calling 01952 384221 or emailing [biodiversity@Telford.gov.uk](mailto:biodiversity@Telford.gov.uk) .

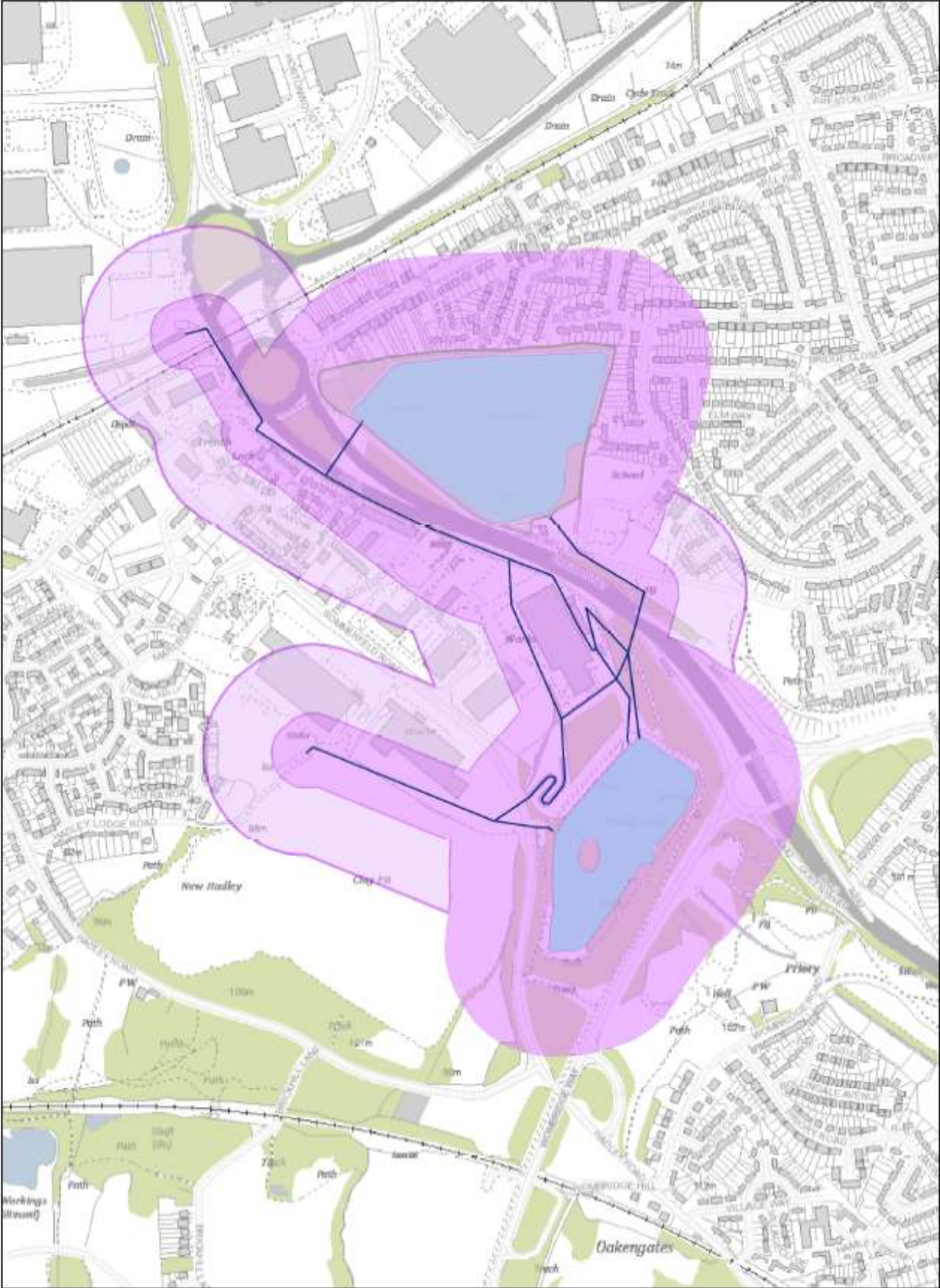
## **11 Underground Services**



- 11.1 In accordance with HSG47 '*Avoiding danger from underground services*' it is the applicant's responsibility to carry out the appropriate service enquiries to confirm that any development will not affect existing buried services. Failure to carry out a comprehensive buried services enquiry could result in the infringement of protected areas associated with any such apparatus. The applicant acknowledges that breaching existing infrastructure can cause serious health and safety, environmental and financial implications to the applicant and/or their delegates'. More information can be found at [www.linerearchbeforeudig.co.uk](http://www.linerearchbeforeudig.co.uk)

## **12 Reservoir and Feeder Channels**

- 12.1 The applicant's attention is drawn to the presence of Trench Pool Reservoir and the network of Feeder channels located to the south of the reservoir. Within the area identified on the following page (in purple), the applicant is advised that relevant steps should be taken to ensure that the structural integrity of the reservoir and / or feeder channels is not compromised and flow through the feeders will remain unaffected by any development.
- 12.2 The applicant is advised to contact Canal & River Trust Works Engineering Team on 0303 040 4040 in order to ensure that any necessary consents are obtained and that the works comply with the Canal & River Trust "Code of Practice for Works affecting the Canal & River Trust". A copy of which can be found on the Trust's website, <https://canalrivertrust.org.uk/business-and-trade/undertaking-works-on-our-property-and-our-code-of-practice>

Trench Pool Reservoir – Network & Feeder Channels:



 <p><b>Canal &amp; River Trust</b></p>	<p>Produced By: ADeby                  Date: 02/11/2016                  Scale: 1:5,000                  Page Size: A3</p>	
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